

KCW



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

September 8, 2022

To: Hamilton County Drainage Board

Re: Williams Creek Drain, The Reserve at Springmill Section 2 Replat

Attached is a petition filed by Pittman Family Real Estate Investment LLC, along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for Springmill Replat Arm, Williams Creek Drain to be located in Clay Township. I have reviewed the submittals and petition and have found each to be in proper form.

Upon reviewing these plans, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited.

The drain will consist of the following:

12" RCP 202 feet 6" SSD 673 feet

The total length of the drain will be 875 feet.

The subsurface drains (SSD) to be part of the regulated drain are those main lines located beneath the front curb of the proposed lots. The portion of the SSD which will be regulated are as follows:

875 feet running along the frontages of lots 68, 71, 75, 76, 77, 78, 79 and 80.

With the extension of Sanner Court, 267 feet of 6-inch SSD located under the existing curb within the existing limits of The Reserve at Springmill Section 2 will be removed.

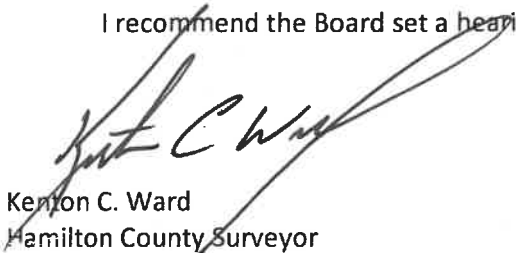
I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot to be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per lot, \$10.00 per acre for common areas, with \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain will be \$650.00.

In accordance with IC 36-7-4-709, the petitioner did not submit surety for the proposed drain prior to Drainage Board approval. A bond will be submitted prior to the commencement of construction. The cost of reconstruction will be paid by the developer

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed reconstruction that the Board also approve the attached non-enforcement for The Reserve at Springmill Replat.

I recommend the Board set a hearing for this proposed drain for October 24, 2022.



Kenton C. Ward
Hamilton County Surveyor

KCW/pll

FILED
MAY 18 2022

OFFICE OF HAMILTON COUNTY SURVEYOR

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

In the matter of Reserve at Spring Mill Subdivision, Section
Replat of Lots 69C and 70C Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in Reserve at Spring Mill, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

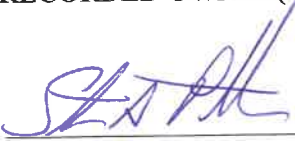
Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED



Signed

Steve Pittman

Printed Name

5/16/2022

Date

Signed

Printed Name

Date

Signed

Printed Name

Date

Signed

Printed Name

Date

(Revised 06/08/04)

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

FILED

AUG 10 2022

OFFICE OF HAMILTON COUNTY SURVEYOR

In the matter of The Reserve at Spring Mill Section 2 Replat Subdivision, Section
Replat of Lots 68, 69C, 70 C and 71 Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in The Reserve at Spring Mill Section II, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
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3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

Adobe PDF Fillable Form

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED

*Pittman Family Real Estate
Investors, LLC*

SPH, (Manager, Member)
Signed

Signed

Steve Pittman

Printed Name

Printed Name

August 1, 2022

Date

Date

Signed

Signed

Printed Name

Printed Name

Date

Date



ESTIMATE OF PROBABLE COSTS

PROJECT: RESERVE AT SPRINGMILL, SECTION 2, REPLAT			DATE: May 13, 2022	
LOCATION: Carmel, IN		ITEM: SUMMARY	JOB #: W210497	
DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
MONUMENTATION				\$950
SANITARY SEWER				\$35,819
STORM SEWER				\$61,894
PAVEMENT				\$45,474
CURBS				\$7,928
WALKS				\$22,528
WATER				\$21,013
EROSION CONTROL				\$12,541
TOTAL				\$208,147

Note:
 This cost opinion was generated from Construction Plans prepared by Weihe Engineers dated May 13, 2022.

Weihe Engineers
 10505 N. College Avenue
 Indianapolis, IN 46280
 317-846-6611

ESTIMATE OF PROBABLE COSTS

PROJECT: RESERVE AT SPRINGMILL, SECTION 2, REPLAT

DATE: May 13, 2022

LOCATION: Carmel, IN

ITEM: MONUMENTA JOB #: W210497

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
MONUMENTS:				
STREET MARKERS		EA	\$150.00	\$0.00
BOUNDARY MARKERS		EA	\$300.00	\$0.00
TOTAL MONUMENTATION				\$950.00

Weihe Engineers
10505 N. College Avenue
Indianapolis, IN 46280
317-846-6611

ESTIMATE OF PROBABLE COSTS

PROJECT: RESERVE AT SPRINGMILL, SECTION 2, REPLAT

DATE: May 13, 2022

LOCATION: Carmel, IN

ITEM: SANITARY JOB #: W210497

DESCRIPTION

QUANTITY UNIT UNIT PRICE TOTAL

8" PVC PIPE - 6'-10'	202	LF	\$44.00	\$8,888.00
6" PVC LATERALS	273	LF	\$32.00	\$8,736.00
WYES	6	EA	\$330.00	\$1,980.00
GRANULAR BACKFILL	238	TON	\$27.00	\$6,415.20
MANHOLES 8'-10'	1	EA	\$5,300.00	\$5,300.00
TELEWISE SANITARY	1	LS	\$500.00	\$500.00
MANHOLE TESTING	1	EA	\$750.00	\$750.00
AIR & MANDREL TESTING	1	LS	\$750.00	\$750.00
TAP INTO EX MH	1	EA	\$2,500.00	\$2,500.00

TOTAL SANITARY**\$35,819.20**

Weihe Engineers
 10505 N. College Avenue
 Indianapolis, IN 46280
 317-846-6611

ESTIMATE OF PROBABLE COSTS

PROJECT: RESERVE AT SPRINGMILL, SECTION 2, REPLAT

DATE: May 13, 2022

LOCATION: Carmel, IN
DESCRIPTION

ITEM: STORM

JOB #: W210497

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
12" RCP PIPE	202	LF	\$40.00	\$8,080.00
STR. 497, 496 24" X 24" CURB INLET w/ CASTING	2	EA	\$3,600.00	\$7,200.00
STR. 494 48" DIAMETER W/ BEEHIVE CASTING	1	EA	\$4,800.00	\$4,800.00
STR. 495 WQ STRUCTURE	1	EA	\$21,500.00	\$21,500.00
GRANULAR BACKFILL	167.4	TON	\$24.00	\$4,017.60
6" SSD IN STREET	673	LF	\$12.00	\$8,076.00
6" SOLID WALL UNDERDRAIN	298	LF	\$14.00	\$4,172.00
4" SOLID WALL LOT HOOKUPS	157	LF	\$14.00	\$2,198.00
TELEVISIONING STORM PIPE	1	LS	\$600.00	\$600.00
TELEVISIONING 6" STREET SSD	1	LS	\$650.00	\$650.00
TELEVISIONING 6" SOLID WALL UNDERDRAIN	1	LS	\$600.00	\$600.00
TOTAL STORM				\$61,893.60

Weihe Engineers
10505 N. College Avenue
Indianapolis, IN 46280
317-846-6611

ESTIMATE OF PROBABLE COSTS

PROJECT: RESERVE AT SPRINGMILL, SECTION 2, REPLAT

DATE: May 13, 2022

LOCATION: Carmel, IN

ITEM: PAVEMENT JOB #: W210497

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
STONE SUB-BASE (#53 STONE) (STREET)	1056	SYDS	\$3.50	\$3,696.00
ASPHALT - 1.5" (9.5 mm Surface) (STREET)	1056	SYDS	\$12.70	\$13,411.20
ASPHALT - 2" (19 mm Binder) (STREET)	1056	SYDS	\$10.10	\$10,665.60
ASPAHLT - 3" (25 mm Base) (STREET)	1056	SYDS	\$9.70	\$10,243.20
LIME STABILIZATION	1356	SYDS	\$5.50	\$7,458.00
TOTAL PAVEMENT				\$45,474.00

Weihe Engineers
10505 N. College Avenue
Indianapolis, IN 46280
317-846-6611

ESTIMATE OF PROBABLE COSTS

PROJECT: RESERVE AT SPRINGMILL, SECTION 2, REPLAT

DATE: May 13, 2022

LOCATION: Carmel, IN

ITEM: CURBS

JOB #: W210497

DESCRIPTION

QUANTITY

UNIT

UNIT PRICE

TOTAL

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
2' CONCRETE ROLL CURB	673	LF	\$11.00	\$7,403.00
STONE SUB-BASE (#53 STONE) CURB	150	SYDS	\$3.50	\$525.00

TOTAL CURBS

\$7,928.00

Weihe Engineers
10505 N. College Avenue
Indianapolis, IN 46280
317-846-6611

ESTIMATE OF PROBABLE COSTS

PROJECT: RESERVE AT SPRINGMILL, SECTION 2, REPLAT

DATE: May 13, 2022

LOCATION: Carmel, IN

ITEM: WALKS

JOB #: W210497

DESCRIPTION

QUANTITY

UNIT

UNIT PRICE

TOTAL

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
5' CONC. WALK	704	LF	\$32.00	\$22,528.00

TOTAL WALKS

\$22,528.00

Weihe Engineers
10505 N. College Avenue
Indianapolis, IN 46280
317-846-6611

ESTIMATE OF PROBABLE COSTS

PROJECT: RESERVE AT SPRINGMILL, SECTION 2, REPLAT

DATE: May 13, 2022

**LOCATION: Carmel, IN
DESCRIPTION**

ITEM: SIGNAGE JOB #: W210497

	QUANTITY	UNIT	UNIT PRICE	TOTAL
TRAFFIC CONTROL SIGNS	0	EA	\$675.00	\$0.00

TOTAL SIGNAGE

\$0.00

Weihe Engineers
10505 N. College Avenue
Indianapolis, IN 46280
317-846-6611

ESTIMATE OF PROBABLE COSTS

PROJECT: RESERVE AT SPRINGMILL, SECTION 2, REPLAT

DATE: May 13, 2022

**LOCATION: Carmel, IN
DESCRIPTION**

ITEM: WATER

JOB #: W210497

	QUANTITY	UNIT	UNIT PRICE	TOTAL
6" MAIN w/VALVES & FITTINGS	297	LF	\$42.00	\$12,474.00
1" LATERAL - K COPPER	237	LF	\$14.00	\$3,318.00
SERVICE TAPS		EA		\$0.00
FLUSHING & TESTING	297	LF	\$1.25	\$371.25
HYDRANTS W/ VALVES	1	EA	\$4,850.00	\$4,850.00
METER PITS (SINGLES)	0	EA	\$850.00	\$0.00

TOTAL WATER

\$21,013.25

Weihe Engineers
10505 N. College Avenue
Indianapolis, IN 46280
317-846-6611

ESTIMATE OF PROBABLE COSTS

PROJECT: RESERVE AT SPRINGMILL, SECTION 2, REPLAT

DATE: May 13, 2022

LOCATION: Carmel, IN
DESCRIPTION

ITEM: EROSION

JOB #: W210497

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
PERMANENT SEEDING WITH MULCH	24984	SF	\$0.05	\$1,249.20
TEMPORARY SEEDING	7762	SYD	\$0.27	\$2,095.74
PERMANENT SEEDING WITH EROSION BLANKETS	927	SF	\$0.16	\$148.32
TEMP. CONST. ENTRANCE	1	EA	\$3,500.00	\$3,500.00
SILT FENCE	2749	LF	\$1.40	\$3,848.60
BEEHIVE INLET PROTECTION	3	EA	\$88.00	\$264.00
CURB INLET PROTECTION	2	EA	\$275.00	\$550.00
CONCRETE WASHOUT	1	EA	\$885.00	\$885.00
TOTAL EROSION				\$12,540.86

Weihe Engineers
10505 N. College Avenue
Indianapolis, IN 46280
317-846-6611

FINDINGS AND ORDER

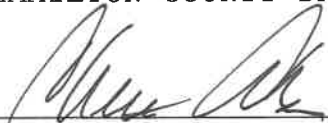
CONCERNING THE MAINTENANCE OF THE

Williams Creek Drain,
The Reserve at Springmill Section 2 Replat

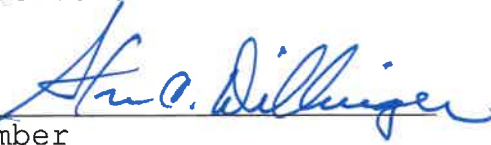
On this **24th day of October, 2022**, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the **Williams Creek Drain, The Reserve at Springmill Section 2 Replat**.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

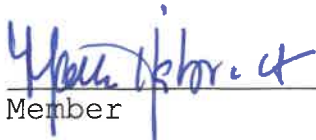
HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest: 
Executive Secretary

FINDINGS AND ORDER

CONCERNING THE PARTIAL VACATION OF THE

**Williams Creek Drain
The Reserve at Springmill Section 2 Replat
6-Inch SSD under Existing Curb - 267'**

On this **24th day of October, 2022**, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the **Williams Creek Drain, The Reserve at Springmill Section 2 Replat (6-Inch SSD under Existing Curb - 267')**.

Evidence has been heard. Objections were presented and considered. The Board then adopted an order of action. The Board now finds that the costs of continued maintenance to the portion of the above drain exceed the benefits to the real estate benefited by the portion of the drain to be abandoned and issues this order vacating the above section of the **Williams Creek Drain, The Reserve at Springmill Section 2 Replat (6-Inch SSD under Existing Curb - 267')**.

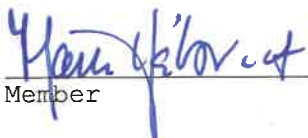
HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest: 

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

***Williams Creek Drain,
The Reserve at Springmill Section 2 Replat***

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board concerning the reconstruction of the **Williams Creek Drain, The Reserve at Springmill Section 2 Replat** on **October 24, 2022** at **9:15 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana. Construction and maintenance reports of the Surveyor and the Schedule of Assessments proposed by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

STATE OF INDIANA)
) SS BEFORE THE HAMILTON
)
COUNTY OF HAMILTON) DRAINAGE BOARD

IN THE MATTER OF **Williams Creek Drain, The Reserve at
Springmill Section 2 Replat**

NOTICE

Notice is hereby given that the Hamilton County Drainage Board at its regular meeting **October 24, 2022** adopted the reconstruction report of the Surveyor and the Amended Schedule of damages and assessments including annual assessment for periodic maintenance, finding that the costs, damages and expense of the proposed improvement would be less than the benefits which will result to the owner of lands benefited thereby.

The Board issued an order declaring the proposed improvement established. Such findings and order were marked filed and are available for inspection in the Office of the Hamilton County Surveyor.

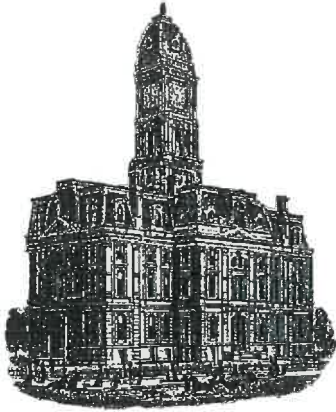
If judicial review of the findings and order of the Board is not requested pursuant to Article VIII of the 1965 Indiana Drainage Code as amended within twenty (20) days from the date of publication of this notice, the findings and order shall become conclusive.

HAMILTON COUNTY DRAINAGE BOARD

BY: Christine Altman
PRESIDENT

ATTEST: Lynette Mosbaugh
SECRETARY

Kew



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

May 16, 2023

Re: Williams Creek Drain: The Reserve at Springmill Section 2 Replat

Attached are as-built, certificate of completion & compliance, and other information for The Reserve at Springmill Section 2 Replat. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated September 8, 2022. The report was approved by the Board at the hearing held October 24, 2022. (See Drainage Board Minutes Book 21, Pages 12-14) The changes are as follows: the 12" RCP was lengthened from 202 to 203 feet. The 6" SSD was shortened from 673 feet to 672 feet. The length of the drain due to the changes described above is now **875 feet**. It should be noted that the project removed 267 feet of existing 6" SSD.

The non-enforcement was approved by the Board at its meeting on October 24, 2022 and recorded under instrument #202302089.

The following sureties were guaranteed by First Merchants Bank and released by the Board on its May 8, 2023, meeting.

Bond-LC No: 548679
Amount: \$48,473
For: Storm Sewers & SSD
Issue Date: August 15, 2023

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward, CFM
Hamilton County Surveyor

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Duane Sharrer

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature: _____



Date: 1/3/2023

Type or Print Name: Duane Sharrer

Business Address: 10505 North College Ave.

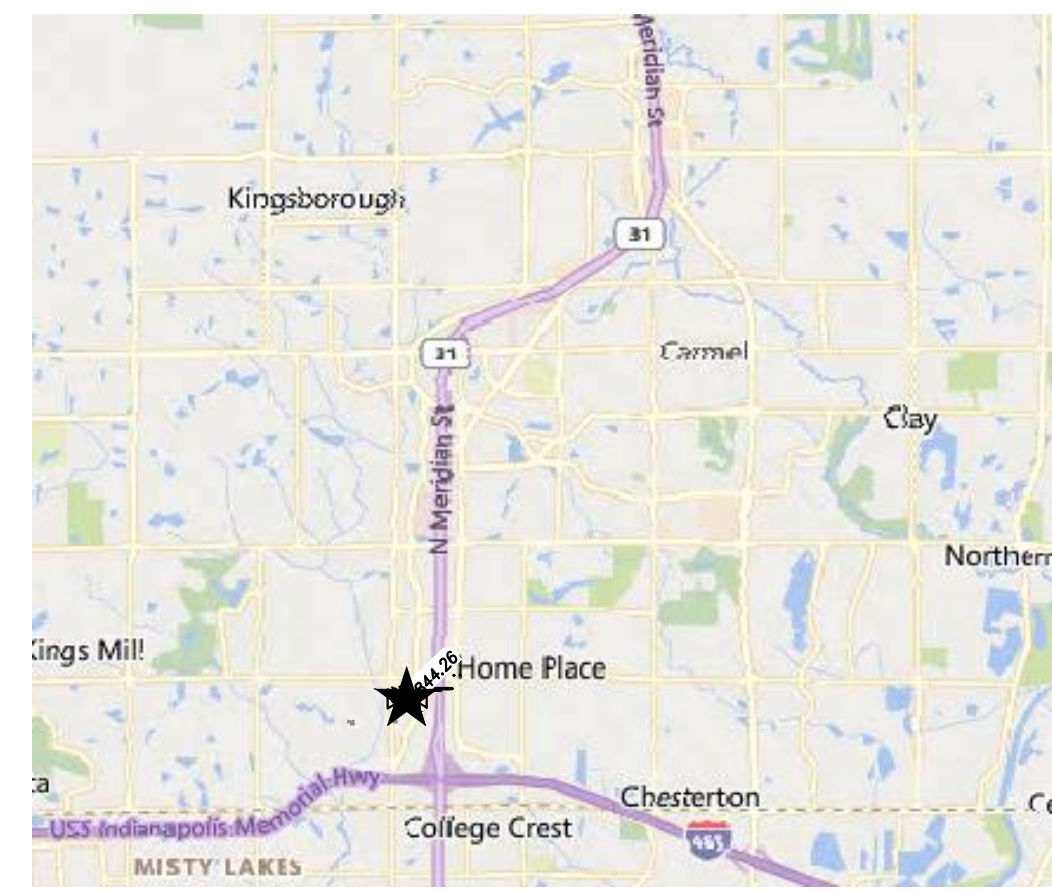
Indianapolis, IN 46280

Telephone Number: 317-846-6611

INDIANA REGISTRATION NUMBER

890258

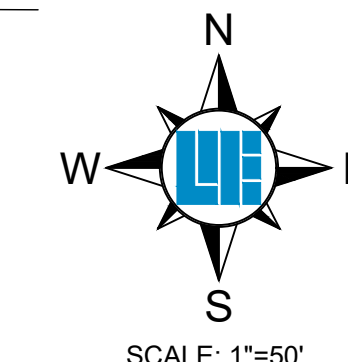
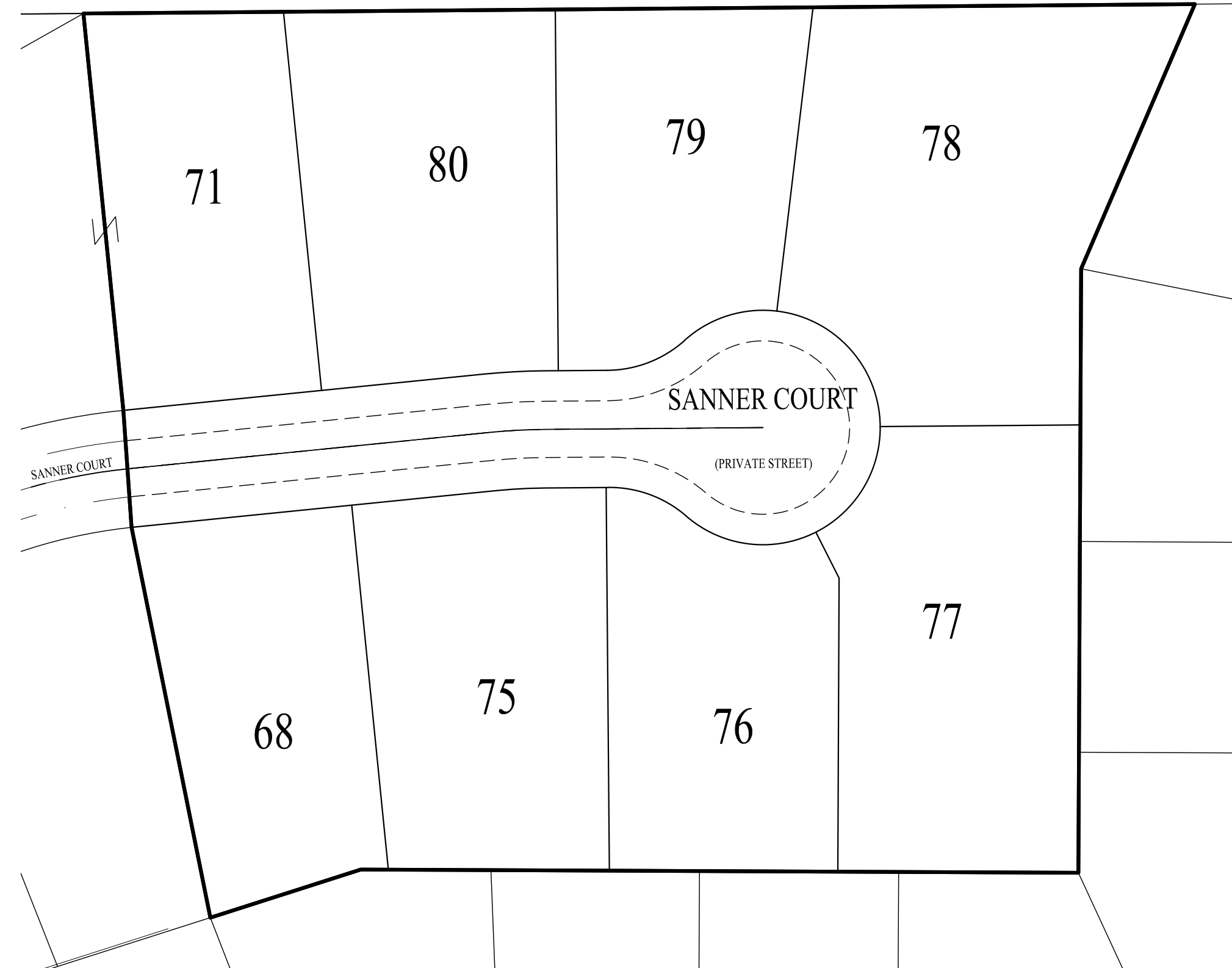
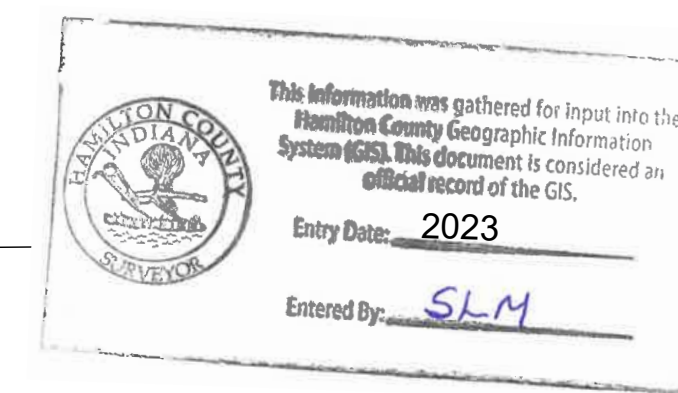
RECORD DRAWING CONSTRUCTION PLANS FOR THE RESERVE AT SPRINGMILL, SECTION 2, REPLAT OF LOTS 68, 69C, 70C, & 71 340 SANNER COURT INDIANAPOLIS, IN 46290



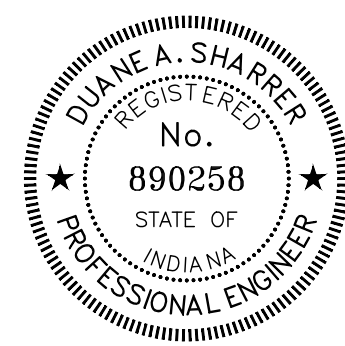
GENERAL NOTES:

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- 2) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION.
- 3) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- 4) ALL QUANTITIES ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- 5) OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- 6) EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE A TRENCH SAFETY SYSTEM DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- 7) IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
- 8) TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- 9) THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- 10) ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
- 11) IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CONFIRM THAT ALL LANDSCAPE REQUIREMENTS ARE MET AND CONFORM TO APPLICABLE LOCAL STANDARDS.
- 12) THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #180570208G, DATED NOVEMBER 19, 2014.
- 13) BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
- 14) THIS SITE DOES NOT CONTAIN WETLANDS AS SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE; NOBLESVILLE, INDIANA, NATIONAL WETLANDS INVENTORY MAP. NO WETLANDS ARE IMPACTED BY THIS DEVELOPMENT.
- 15) ALL WATER MAINS, HYDRANTS, AND WATER VALVES SHALL BE INSPECTED AND SHALL COMPLY WITH BACKFILL, BEDDING, AND THRUST BLOCK REQUIREMENTS PER CITY OF CARMEL DETAIL SHEETS.

LATITUDE: 39°56'21" N, LONGITUDE: 86°09'45" W

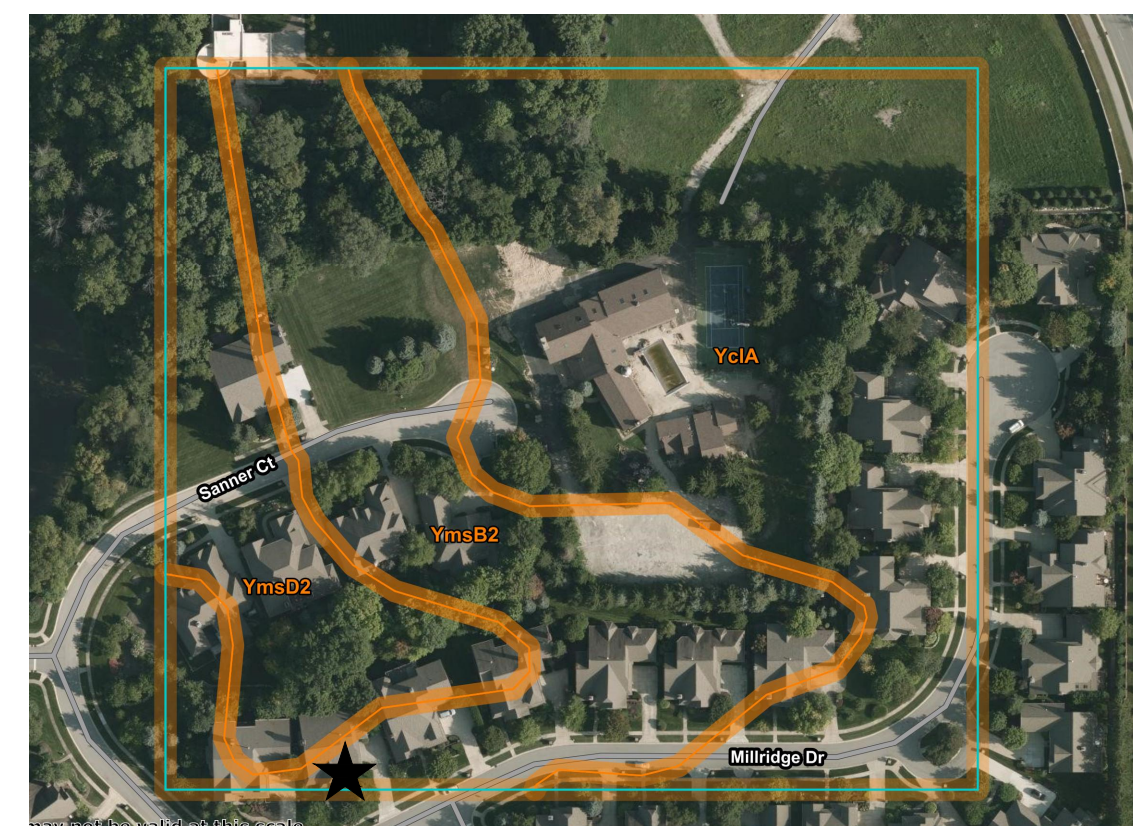


RECORD DRAWING
1/18/2022
DUANE A. SHARRER P.E. 890258



OPERATING AUTHORITIES

CITY OF CARMEL ENGINEERING ONE CIVIC SQUARE CARMEL, IN 46032 ALEX JORDAN 317-571-2441	CARMEL UTILITIES - WATER 760 3RD AVENUE S.W. CARMEL, IN 46032 JOHN DUFFY 317-571-2443
CITY OF CARMEL FIRE DEPARTMENT 10701 N. COLLEGE AVENUE INDIANAPOLIS, IN 46280 CHRIS ELLISON 317-571-2600	VECTREN ENERGY P.O. BOX 1700 NOBLESVILLE, IN 46061 CHAD MILLER 317-776-5590
TRI-COUNTY REGIONAL SEWER UTILITY 7236 MAYFLOWER PARK DR. ZIONSVILLE, IN 46077 RYAN HARTMAN 317-844-9200	CITY OF CARMEL PLANNING/ZONING DEPARTMENT 1 CIVIC SQUARE CARMEL, IN 46032 ALEXIA LOPEZ 317-571-2417
HAMILTON COUNTY SURVEYOR'S OFFICE ONE HAMILTON SQUARE, SUITE 188 HAMILTON COUNTY JUDICIAL CENTER NOBLESVILLE, IN 46060 317-776-8495 SAM CLARK	CITY OF CARMEL STREET DEPARTMENT 3400 W. 131ST STREET CARMEL, IN 46074 ERIC RUSSELL 317-733-1204
SPECTRUM 3030 ROOSEVELT AVENUE INDIANAPOLIS, IN 46218 STEVE CREECH 317-429-6691	CROSSROAD ENGINEERS 3417 S. SHERMAN DR. BEECH GROVE, IN 46107 WILLIE HALL 317-780-1555
DUKE ENERGY 16475 SOUTH-PARK DRIVE WESTFIELD, IN 46074 JESSI HERRINGTON 317-896-6725	



SEE SHEET C202 FOR SOIL DEFINITIONS. NO SCALE

SOILS MAP

BENCHMARK INFORMATION

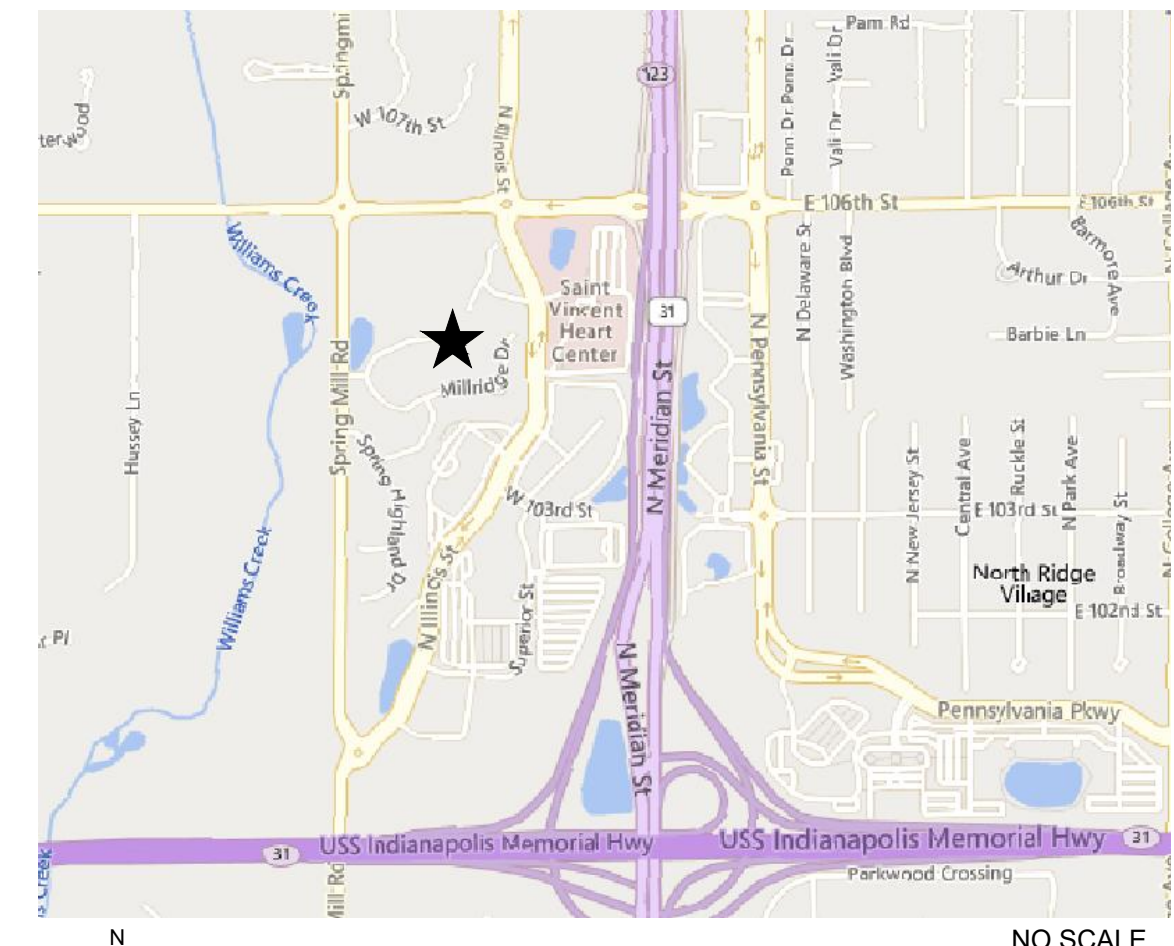
- SITE TBM -
- TBM#1
SET ON THE EAST BOLT ON A FIRE HYDRANT AT THE BEGINNING OF THE CUL-DA-SAC ON THE NORTH SIDE OF SANNER COURT.
ELEV. 841.80 (NAVD 88)
- TBM#2
SET ON THE RIM OF A SANITARY MANHOLE AT THE END OF THE CUL-DA-SAC OF SANNER COURT.
ELEV. 842.89 (NAVD 88)

SETBACKS (S-2 ZONING WITH VARIANCE REQUESTS*)

FRONT YARD:	22' MINIMUM*
REAR YARD:	20' MINIMUM*
SIDE YARD:	5' MINIMUM*

DISTURBED ACREAGE: 2.65

DESIGN SPEED: 25 MPH



NO SCALE
SITE LOCATION MAP

Sheet Number	Sheet Title
C001	Title Sheet
-C100-	Existing Conditions & Demolition Plan
-C200-	SWPPP Phase I
-C201-	SWPPP Phase II
-C202-	SWPPP Specs & Details
C300	Development Plan
-C301-	Emergency Flood Route Plan
C400	Street Plan & Profile
-C401-	Cul-De-Sac Detail
-C402-	Signage & SSD Plan
-C403-	Street Details
-C500-	Sanitary Plan & Profile
-C501-	Sanitary Specs & Details
C600	Storm Plan & Profile
-C601-	Storm Specs & Details
-C700-	Water Plan
-C701-	Water Specs & Details
-L100-	Landscape Plan
-L101-	Landscape Details

LAND DESCRIPTION:

A PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 17 NORTH, RANGE 3 EAST, HAMILTON COUNTY, INDIANA, BEING THAT 3.495 ACRE TRACT OF LAND SHOWN ON THE PLAT OF AN ORIGINAL BOUNDARY SURVEY OF SAID TRACT CERTIFIED BY AARON PATELEY, PS L520700097 ON JANUARY 12, 2022, AS WEIHE'S PROJECT NUMBER W210497 (ALL REFERENCES TO MONUMENTS AND COURSES HEREIN SHOWN ON SAID PLAT OF SURVEY) AND BEING MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 11; THENCE SOUTH 0 DEGREES 17 MINUTES 03 SECONDS WEST 659.67 FEET ALONG THE WEST LINE OF SAID NORTHWEST QUARTER TO THE PROLONGED NORTH LINE OF THE RESERVE AT SPRING MILL SECTION 2 PLAT RECORDED AS INSTRUMENT NUMBER 9601852 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY; THENCE NORTH 89 DEGREES 31 MINUTES 14 SECONDS EAST 474.31 FEET ALONG SAID NORTH LINE TO THE PROLONGED NORTH LINE AND THE NORTH LINE OF SAID RESERVE AT SPRING MILL PLAT TO THE NORTHWEST CORNER OF LOT 71 IN SAID PLAT AND THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES 31 MINUTES 14 SECONDS EAST 474.31 FEET ALONG SAID NORTH LINE TO THE NORTHEAST CORNER OF LOT 70C OF THE REPLAT OF LOT 69B AND 70B IN THE RE-PLAT OF 69A AND 70A OF THE RESERVE AT SPRINGMILL, SECTION 2 RECORDED AS INSTRUMENT NUMBER 2021051505 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY; THENCE SOUTH 23 DEGREES 15 MINUTES 31 SECONDS WEST 122.88 FEET ALONG THE EAST LINE OF SAID LOT 70C; THENCE SOUTH 0 DEGREES 15 MINUTES 31 SECONDS WEST 257.70 FEET ALONG THE EAST LINE OF SAID LOT 70C AND LOT 69C TO THE SOUTHWEST CORNER OF LOT 69C; THENCE NORTH 89 DEGREES 44 MINUTES 29 SECONDS WEST 306.27 FEET ALONG THE SOUTH LINE OF LOT 69C TO A SOUTH CORNER OF LOT 68 IN THE SAID PLAT OF THE RESERVE AT SPRING MILL SECTION 2; THENCE SOUTH 72 DEGREES 15 MINUTES 31 SECONDS WEST 67.39 FEET ALONG THE SOUTH LINE OF SAID LOT 68 TO THE SOUTHWEST CORNER OF SAID LOT 68; THENCE NORTH 11 DEGREES 25 MINUTES 17 SECONDS WEST 169.90 FEET ALONG THE WEST LINE OF SAID LOT 68 TO THE NORTHWEST CORNER OF SAID LOT 68; THENCE NORTH 3 DEGREES 59 MINUTES 44 SECONDS WEST 50.03 FEET TO THE SOUTHWEST CORNER OF SAID LOT 71; THENCE NORTH 5 DEGREES 44 MINUTES 29 SECONDS WEST 170.19 FEET ALONG THE WEST LINE OF SAID LOT 71 TO THE POINT OF BEGINNING CONTAINING 3.495 ACRES, MORE OR LESS.



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OR BORE WITHOUT NOTIFYING THE UNDERGROUND
UTILITY SERVICES (U.S.) WORKING
DAYS BEFORE COMMENCING WORK.

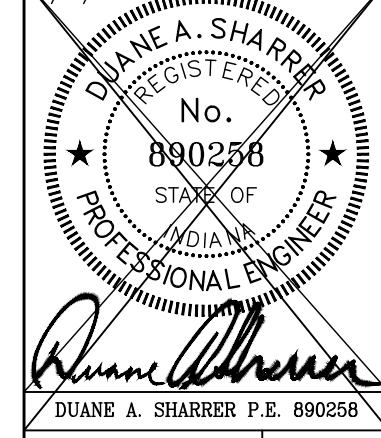
PLANS PREPARED FOR
PITTMAN FAMILY REAL ESTATE INVESTORS, LLC
P.O. BOX 554
CARMEL, INDIANA 46082-0554
TELEPHONE: (317) 590-5074
CONTACT PERSON: STEVE PITTMAN
EMAIL: STEVE@PITTMANPARTNERS.COM

PLANS PREPARED BY
WEIHE ENGINEERS
10505 N. COLLEGE AVE.
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
CONTACT PERSON: DUANE SHARRER
EMAIL: SHARRERD@WEIHE.NET

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

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DATE	BY	REVISIONS AND ISSUES
05-13-2022	W210497	PROJECT NO.
05-19-2022	W210497	DWG NAME
08-10-2022	W210497	AS BUILT
11-11-2022	W210497	AS BUILT



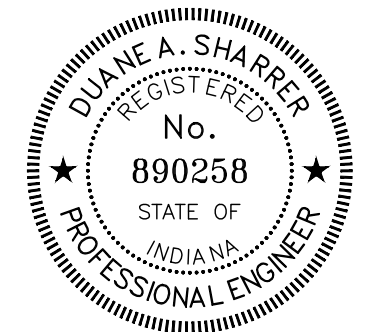
THE RESERVE AT SPRINGMILL, SECTION 2,
 REPLAT OF LOTS 68, 69C, 70C, & 71
 340 SANNER COURT, INDIANAPOLIS, IN 46290
 TITLE SHEET
 Part of Section 11, Township 17 North, Range 3 East, Clay Township, Hamilton County, Indiana
 SHEET NO. **C001**
 PROJECT NO. W210497

LOCATION: W:\2021\W210497\Engineering\AutoCAD\Drawings\001 Title Sheet.dwg
 DATE PLOTTED: January 28, 2023 - 11:15am
 PLOTTED BY: cshamm

GENERAL GRADING NOTES

- REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS.
- FILL MATERIAL SHALL CONSIST OF SOIL OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. SOIL SHALL BE FREE FROM ORGANIC MATTER, LARGE ROCKS AND OTHER DELETERIOUS SUBSTANCES. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING COMPACTION, PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTION TESTS SHALL BE RUN ON EACH LIFT, IN FILL SECTIONS. THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
- MAXIMUM LAWN SLOPE IS 3:1.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES AND OTHER FACILITIES IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESS RESPONSIBILITY OF THE CONTRACTOR.
- ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
- COMPACTED "B" BORROW BACK FILL RECD. OVER ALL UTILITIES IN PAVED AREAS.
- ALL GRADES AT BOUNDARY SHALL MEET EXISTING.
- ANY PART OF SANITARY / STORM SEWER AND WATER MAIN TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
- ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
- THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF SOIL IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVING OR IMPORTING OF SOIL.
- PROVIDE POSITIVE DRAINAGE WITHOUT PONING IN ALL AREAS. CONTRACTOR TO TEST FOR AND CORRECT ANY PONING CONDITIONS.
- CONTRACTOR TO INSTALL CONCRETE CRADLES WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWER FACILITIES, WATER MAIN, AND STORM SEWERS IS 18" OR LESS.
- GRANULAR BACKFILL TO BE USED FOR ALL UTILITY AND SEWER - STREET CROSSINGS.
- ALL PROPOSED CURB TO BE ROLL CURB UNLESS NOTED OTHERWISE.
- ALL 6" SSD TO BE DOUBLE WALL, GASKETED SMOOTH BORE, DRAIN TILE.
- THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18057C0208G, DATED NOVEMBER 19, 2014.
- PROPOSED STORM SEWERS TO BE OWNED BY HAMILTON COUNTY.
- MINIMUM FLOOD PROTECTION GRADE (MFPG) OF ALL STRUCTURES FRONTING A POND OR OPEN DITCH SHALL BE NO LESS THAN 2 FEET ABOVE ANY ADJACENT 100-YEAR LOCAL OR REGIONAL FLOOD ELEVATIONS, WHICHEVER IS GREATER, FOR ALL WINDOWS, DOORS, PIPE ENTRANCES, WINDOW WELLS, AND ANY OTHER STRUCTURE MEMBER WHERE FLOODWATERS CAN ENTER A BUILDING.

RECORD DRAWING
 DEVELOPMENT PLAN AS-BUILTS
 PADS AND SWALES ONLY
 /26/2022
 Duane A. Sharrer
 DUANE A. SHARRER P.E. 890258



- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT SPOT ELEVATION
- AS-BUILT RISER
- AS-BUILT SUBSURFACE DRAIN

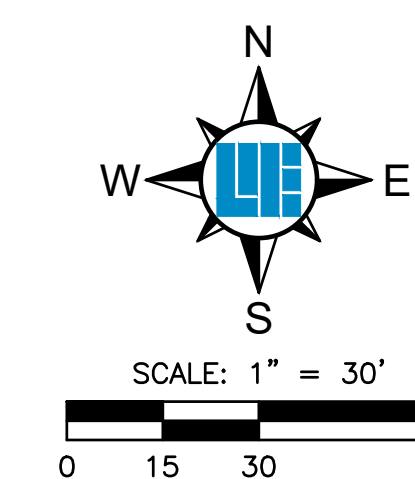
DATE OF LAST FIELDWORK: 01/03/2023

LEGEND

- = BUILDING SETBACK LINE (B.S.L.)
- = EASEMENT
- = EXISTING STORM SEWER LINE
- = PROPOSED STORM SEWER LINE
- = STORM MANHOLE
- = STORM INLET
- = SUBSURFACE DRAIN AND SUMP LINE
- = EXISTING SUBSURFACE DRAIN
- = SOLID WALL UNDERDRAIN
- = SUBSURFACE DRAIN
- = SWALE
- = EXISTING SANITARY SEWER LINE
- = PROPOSED SANITARY SEWER LINE
- = SANITARY SEWER MANHOLE
- = FLOW DIRECTION
- = EXISTING CONTOURS
- = PROPOSED ELEVATION
- = PROPOSED CONTOURS
- = TOP OF CASTING
- = INVERT
- = REINFORCED CONCRETE PIPE
- = PVC
- = POLY-VINYL CHLORIDE PIPE
- = M.H.
- = MANHOLE
- = STR.
- = DRAINAGE AND UTILITY EASEMENT
- = U.E.
- = UTILITY EASEMENT
- = S.S.E.
- = SANITARY SEWER EASEMENT
- = M.E.
- = MATCH EXISTING GRADE
- = TYP.
- = EXISTING
- = PROPOSED
- = RADIUS
- = RIGHT-OF-WAY
- = B-B
- = BACK TO BACK (CURB)
- = C.L.
- = CENTERLINE
- = V.W.
- = VARIABLE WIDTH
- = PAD ELEV (SEE EACH PAD FOR PAD SIZE)
- = MINIMUM FLOOD PROTECTION GRADE
- = MINIMUM LOWEST ADJACENT GRADE
- = FINISHED FLOOR ELEVATION

DRAINAGE SUMMARY			
PEAK DISCHARGE (CFS) INTO EXISTING POND			
RETURN PERIOD	EXISTING	ALLOWABLE	PROPOSED
10-YR	8.22	N/A	6.93
100-YR	17.10	N/A	15.62
OVERALL SITE ACREAGE	3.49 ACRES		
POND WATERSHED ACREAGE	13.90 ACRES		
DETENTION VOLUME REQUIRED	PROVIDED IN EX POND		
DETENTION VOLUME PROVIDED	PROVIDED IN EX POND		

NOTES: THE DETENTION FOR THE SITE IS PROVIDED BY ONE EXISTING WET POND. ONLY A PORTION OF THE POND WATERSHED IS BEING ALTERED AND THE PROPOSED CHANGES HAVE BEEN DESIGNED SUCH THAT THE EXISTING POND PROVIDES DETENTION PER THE APPROVED MASTER PLAN. THE POND DISCHARGES INTO WILLIAMS CREEK.



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 LOCATOR SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.

THE RESERVE AT SPRINGMILL, SECTION 2,
 REPLAT OF LOTS 68, 69C, 70C, & 71
 340 SANNER COURT, INDIANAPOLIS, IN 46290
 DEVELOPMENT PLAN
 Part of Section 11, Township 17 North, Range 3 East, Clay Township, Hamilton County, Indiana
 SHEET NO. **C300**
 PROJECT NO. W210497

REVISIONS AND ISSUES

DATE	BY	PROJECT NO.	ISSUE
05-13-2022	W210497	W210497	IFR/BC
05-19-2022	BCB	W210497	BCB
08-10-2022	W210497	W210497	IFR/BC
11-11-2022	MMS	W210497	AS-BUILT

DESIGNED BY: W210497
 DRAWN BY: BCB
 CHECKED BY: DAS
 DATE: 01-13-2023

DUANE A. SHARRER P.E. 890258

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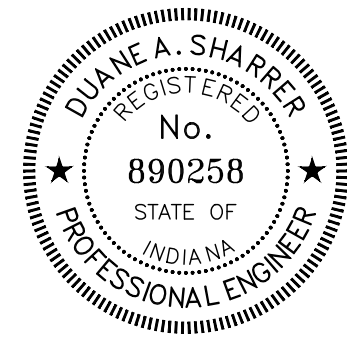
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 weihe.net
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 800 | 452 - 6408
 317 | 843 - 0546 fax
 ALLAN H. WEIHE, P.E., L.S. - FOUNDER

LOCATION: \\2021\W210497\Engineering\eksharr\46290\Development Plan.dwg
 DATE PLOTTED: January 26, 2023 - 11:15am
 PLOTTED BY: csharr

RECORD DRAWING

STREET AS-BUILTS
CENTERLINE ONLY
7/26/2022

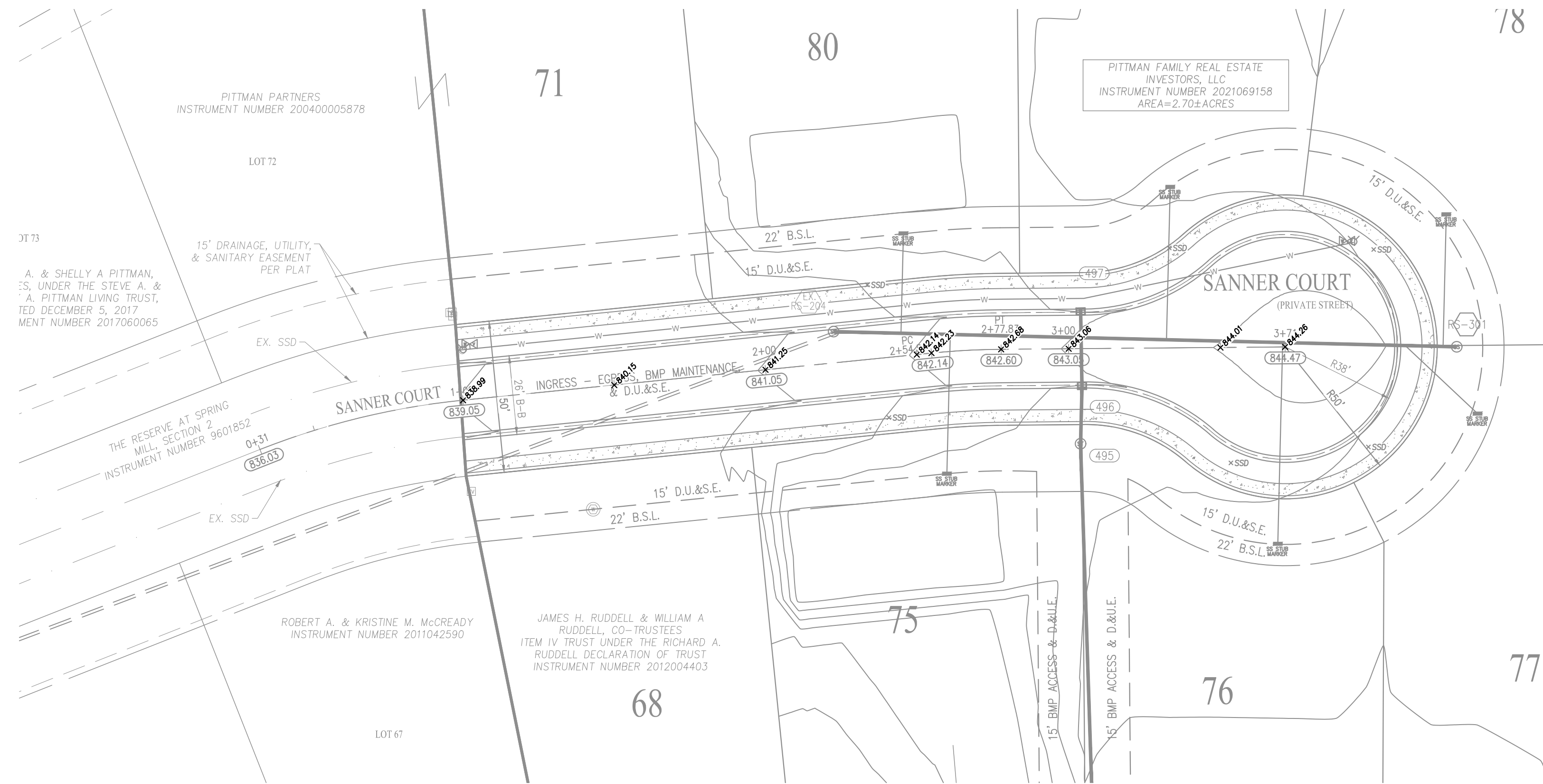
DUANE A. SHARRER P.E. 890258



- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT SANITARY SEWER STUB

DATE OF LAST FIELDWORK: 01/03/2023

PIPE LENGTHS ARE CALCULATED FROM CENTER OF CASTING TO CENTER OF CASTING.



LEGEND

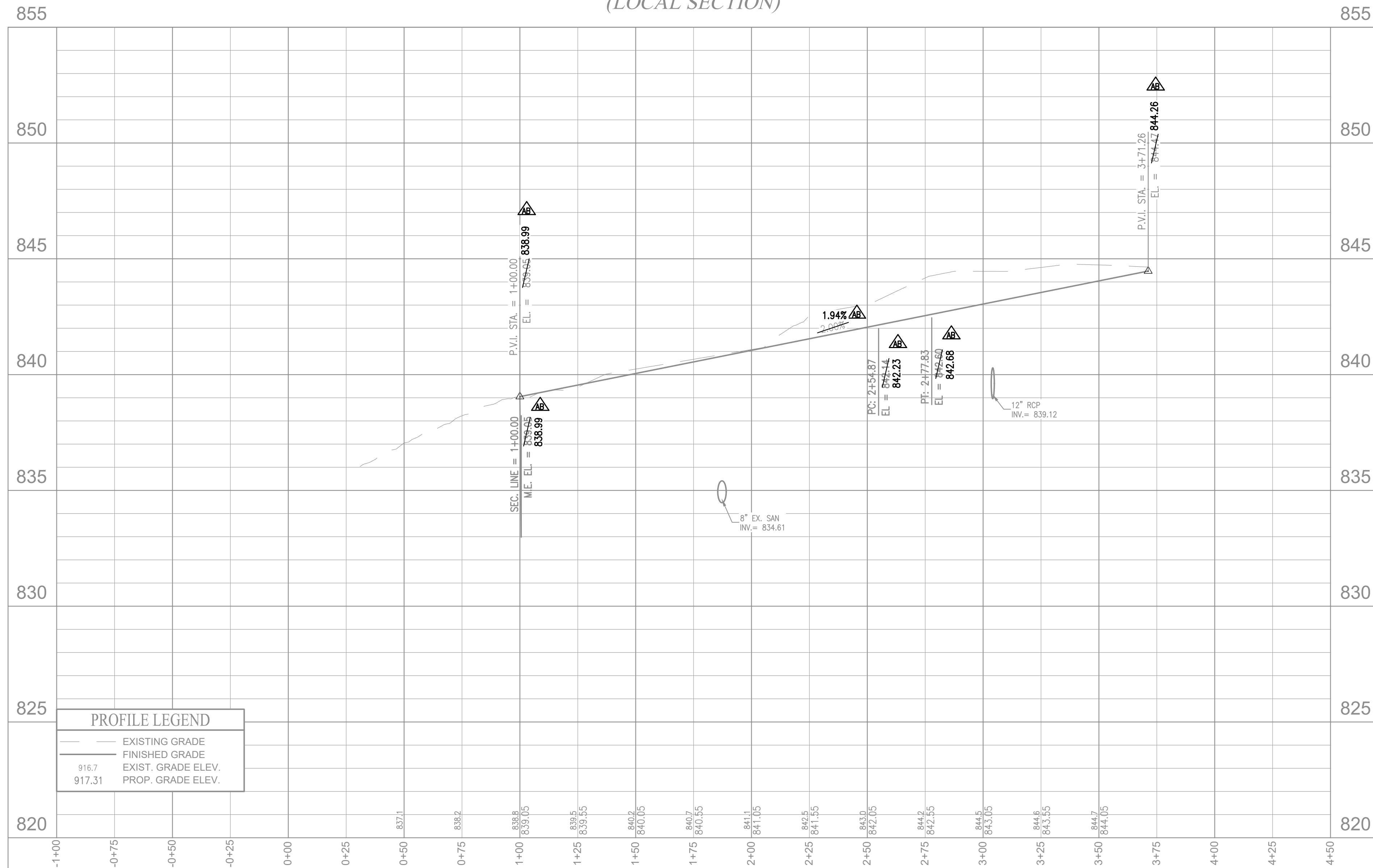
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- - - -	= EASEMENT
-----	= EXISTING STORM SEWER LINE
-----	= PROPOSED STORM SEWER LINE
○	= STORM MANHOLE
○	= STORM INLET
---	= SUBSURFACE DRAIN AND SUMP LINE
---	= EXISTING SUBSURFACE DRAIN
---	= SOLID WALL UNDERDRAIN
---	= SUBSURFACE DRAIN
---	= SWALE
---	= EXISTING SANITARY SEWER LINE
---	= PROPOSED SANITARY SEWER LINE
---	= SANITARY SEWER MANHOLE
---	= TOP OF CASTING
---	= INVERT
---	= REINFORCED CONCRETE PIPE
---	= POLYVINYL CHLORIDE PIPE
---	= MANHOLE
---	= STRUCTURE
---	= DRAINAGE AND UTILITY EASEMENT
---	= UTILITY EASEMENT
---	= SANITARY SEWER EASEMENT
---	= MATCH EXISTING GRADE
---	= TYPICAL
---	= EXISTING
---	= PROPOSED
---	= RADIUS
---	= RIGHT-OF-WAY
---	= BACK TO BACK (CURB)
---	= CENTERLINE
---	= VARIABLE WIDTH

- NOTES**
- STANDARD SPECIFICATIONS BY THE LOCAL HIGHWAY DEPARTMENT, LATEST EDITION, SHALL APPLY TO THIS PROJECT FOR ALL STREET IMPROVEMENTS.
 - ALL STREETS TO BE 26' IN WIDTH (MEASURED FROM B-B OF CURB) UNLESS OTHERWISE NOTED.
 - INGRESS & EGRESS EASEMENT TO BE 50' IN WIDTH.
 - TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
 - ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
 - SEE SECONDARY PLAT FOR STREET CENTERLINE GEOMETRY, EASEMENT LOCATIONS AND DESIGNATIONS.

SITE TBM

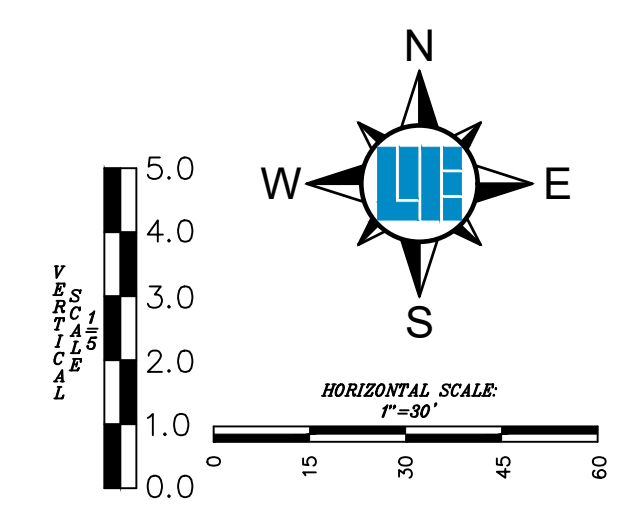
- TBM#1**
SET ON THE EAST BOLT ON A FIRE HYDRANT AT THE BEGINNING OF THE CUL-DA-SAC ON THE NORTH SIDE OF SANNER COURT.
ELEV. 841.80 (NAVD 88)
- TBM#2**
SET ON THE RIM OF A SANITARY MANHOLE AT THE END OF THE CUL-DA-SAC OF SANNER COURT.
ELEV. 842.89 (NAVD 88)

**Sanner Court
(LOCAL SECTION)**



PROFILE LEGEND

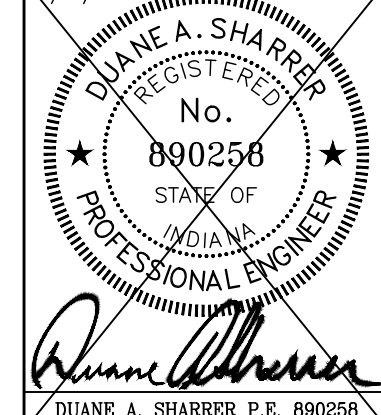
---	EXISTING GRADE
---	FINISHED GRADE
916.7	EXIST. GRADE ELEV.
917.31	PROP. GRADE ELEV.



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DATE	BY	REVISIONS AND ISSUES
05-13-2022	TPG/BCB	REVISIONS PER TAC COMMENTS
05-19-2022	BCB	REVISIONS PER TAC COMMENTS
08-10-2022	TPG/BCB	REVISIONS PER TAC COMMENTS
11-11-2022	MMS/C	AS-BUILT

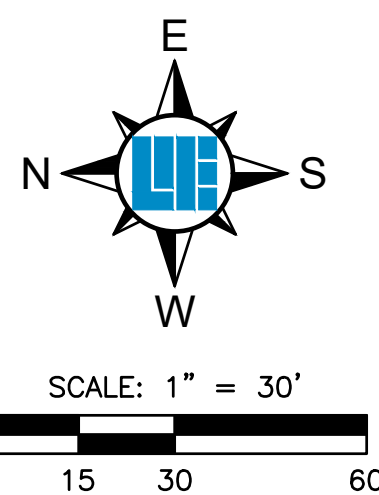


**THE RESERVE AT SPRINGMILL, SECTION 2,
REPLAT OF LOTS 68, 69C, 70C, & 71**
340 SANNER COURT, INDIANAPOLIS, IN 46290
STREET PLAN & PROFILE
Part of Section 11, Township 17 North, Range 3 East, Clay Township, Hamilton County, Indiana

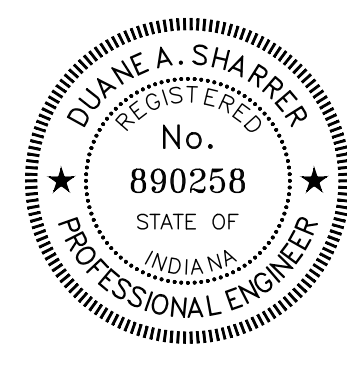
SHEET NO. **C400**
PROJECT NO. **W210497**

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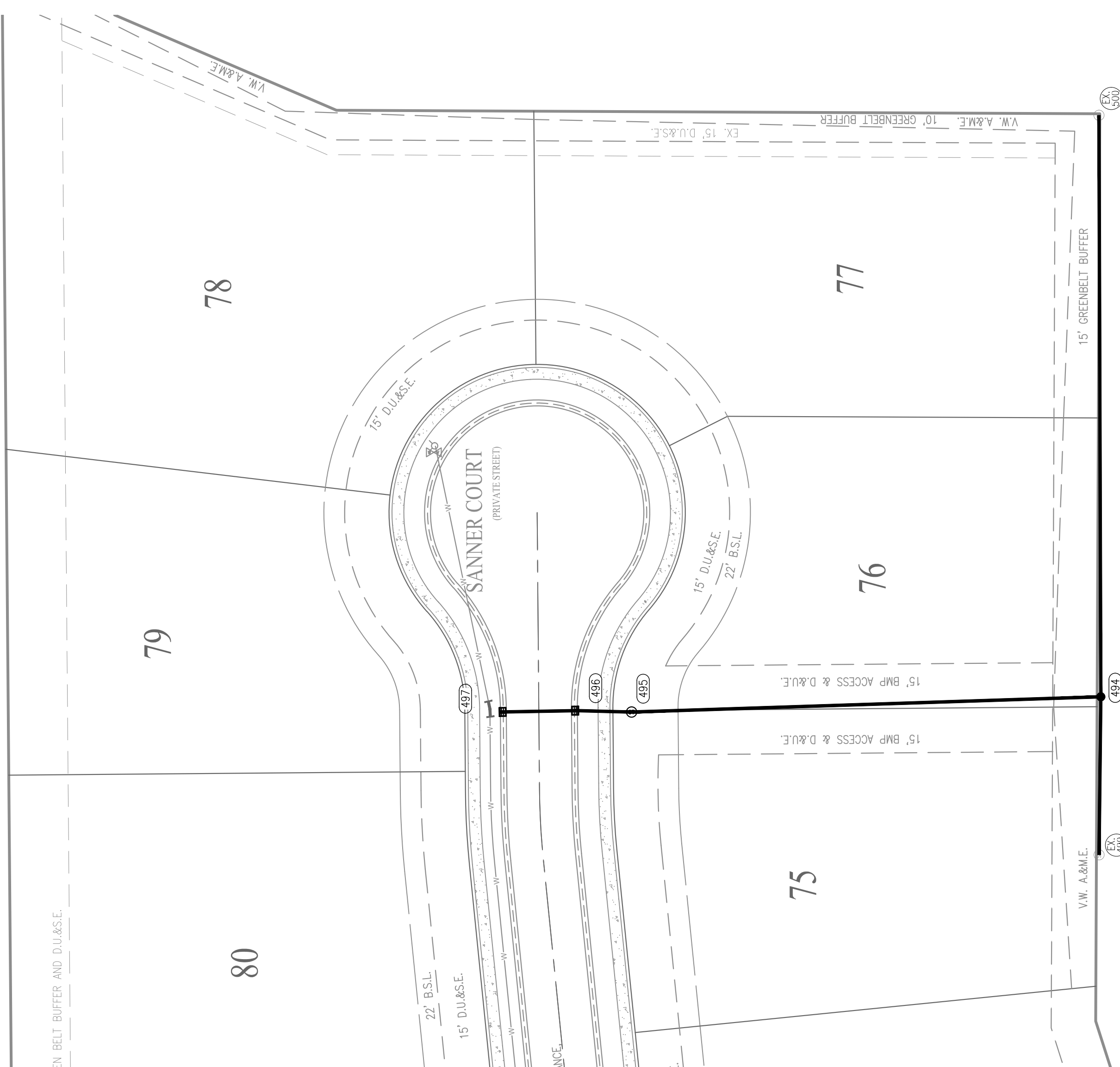
LOCATION: \\2021\W210497\Engineering\ksharr\48_Cover\A8_C400_Sheet_P&P.dwg
DATE PLOTTED: January 26, 2023 - 11:58am
PLOTTED BY: csharr



RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 03/28/2023
Duane A. Sharrer
 DUANE A. SHARRER P.E. 890258

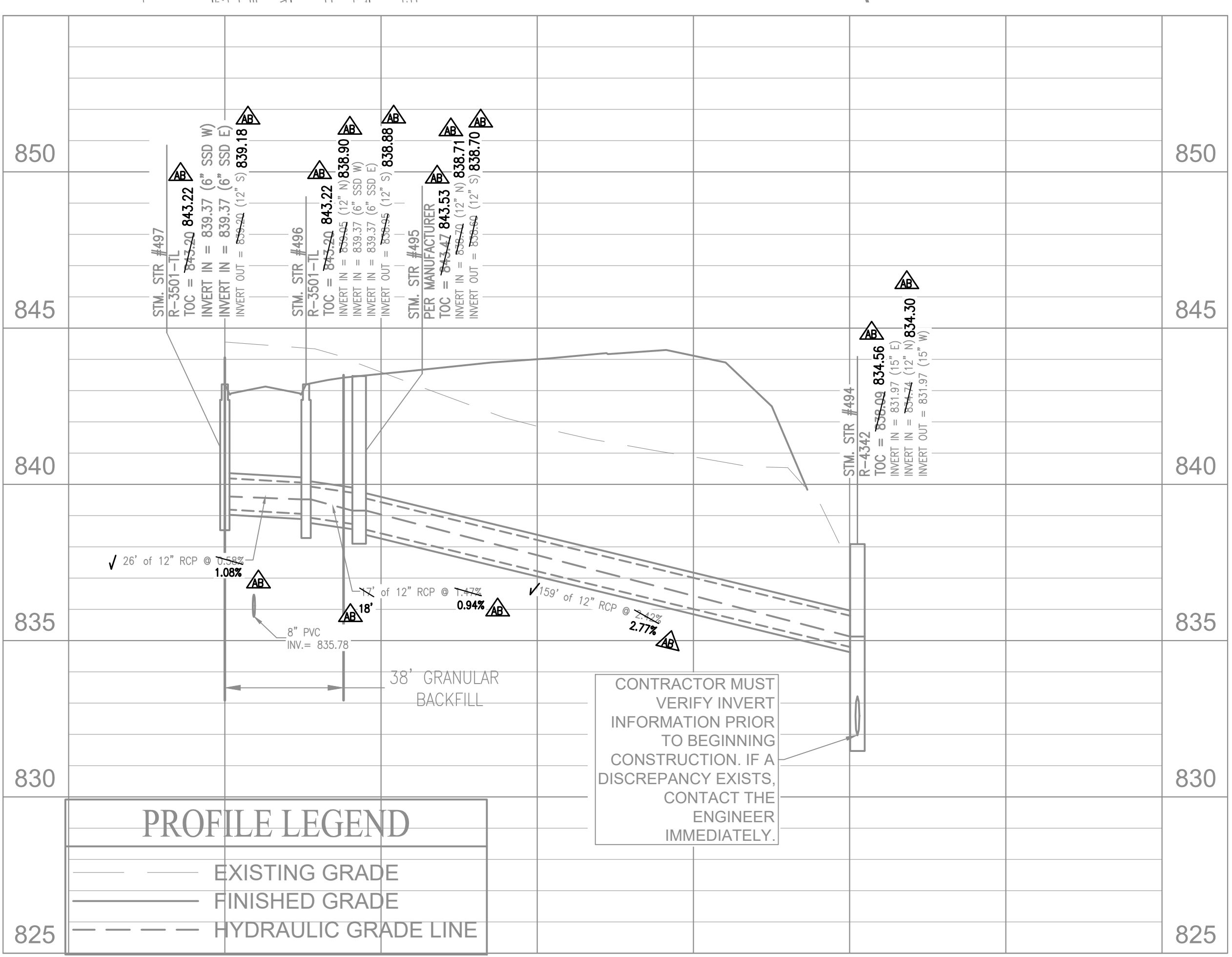


- ▲ - AS-BUILT INFORMATION
 - ✓ - BUILT AS PLANNED
- DATE OF LAST FIELDWORK: 03/24/2023
- PIPE LENGTHS ARE CALCULATED FROM CENTER OF CASTING OR BACK OF CURB, TO CENTER OF CASTING OR BACK OF CURB.



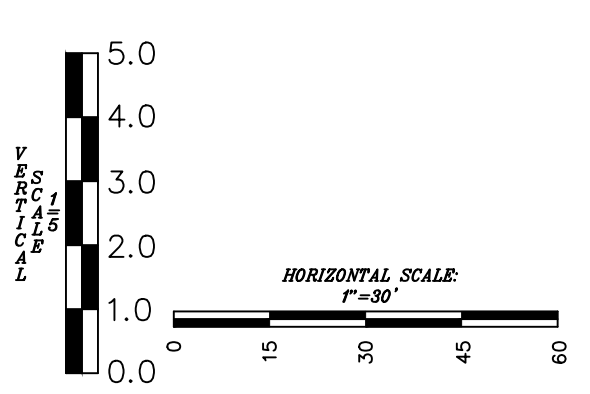
STRUCTURE NUMBER	TOP OF CASTING	STRUCTURE TYPE	CASTING TYPE	INVERT
494	838.09	BEEHIVE INLET, 48" DIA.	R-4342	INV IN (E)= 831.97 (15" EX. STM) INV IN (N)= 834.74 (12" RCP) INV OUT (W)= 831.97 (15" EX. STM)
495	843.47	WATER QUALITY STRUCTURE, 36" DIA.	PER MANUFACTURER	INV IN (N)= 838.70 (12" RCP) INV OUT (S)= 838.60 (12" RCP)
496	843.20	CURB INLET, 24 X 24	R-3501-TL	INV IN (N)= 839.05 (12" RCP) INV OUT (S)= 838.95 (12" RCP)
497	843.20	CURB INLET, 24 X 24	R-3501-TL	INV OUT (S)= 839.20 (12" RCP)

UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE	MATERIAL	LENGTH	SLOPE
495	494	12"	RCP	159'	2.42%
496	495	12"	RCP	17'	1.47%
497	496	12"	RCP	26'	0.58%



- ### STORM SEWER NOTES
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND STORMWATER POLLUTION PREVENTION PLAN.
 - REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS.
 - THE CONTRACTOR SHALL CONTACT APPLICABLE STATE UNDERGROUND LOCATION SERVICE AT LEAST 72 HOURS PRIOR TO ANY WORK AND SHALL CONTACT THE OWNER AND/OR ENGINEER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE PLANS SHOW THE LOCATIONS OF ALL KNOWN UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION ACCORDING TO INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES. PREVIOUS CONSTRUCTION PLANS AND AS EVIDENCED BY OBSERVATION OF ABOVE GROUND CONDITIONS BY THE SURVEYOR. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED.
 - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, AND OTHER FACILITIES WITHIN THE CONSTRUCTION LIMITS. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITIES AND VERIFY ANY AND ALL FEES ASSOCIATED WITH THE INSTALLATION OF ALL UTILITIES.
 - ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
 - ANY PART OF STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS AS RELATED TO THEIR WORK. NOTIFY ENGINEER OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
 - MINIMUM CLEARANCE BETWEEN STORM / SANITARY SEWER SYSTEMS AND DOMESTIC/FIRE LINE SERVICE, SHALL BE 10' HORIZONTAL AND 18" VERTICAL.
 - CONTRACTOR TO INSTALL CONCRETE GRODLES AT PIPE CROSSING WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWERS, WATER MAINS AND STORM SEWERS IS 18" OR LESS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO ITS CONDITION PRIOR TO CONSTRUCTION.
 - WHEN PERFORMING EXCAVATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.
 - COMPACTED "B" BORROW BACK FILL REQUIRED OVER ALL UTILITIES IN PAVED AREAS.
 - FOLLOW ALL LOCAL AND STATE CODES IN REFERENCE TO STORM SEWER INSTALLATION.
 - ALL EXISTING MANHOLE AND CATCH BASIN GRATES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATIONS.
 - EXISTING PIPES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
 - ALL STORM SEWER CONNECTIONS AT STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTIONS AT STRUCTURES ARE WATERTIGHT.
 - ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS RATED FOR H20 LOADING.
 - ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH AND UNIFORMLY POURED MORTAR CHANNEL FROM INVERT IN TO INVERT OUT.
 - NEW PIPES AND STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS PRIOR TO FINAL TURNOVER TO THE OWNER.
 - IF HDPE PIPE IS SPECIFIED, USE DUAL WALLED, HANCOR HQ, ADS N-12 PIPE OR APPROVED EQUAL.
 - ALL FITTINGS AND ACCESSORIES INCLUDING BUT NOT LIMITED TO END CAPS, CLEANOUTS, REDUCERS, ETC., SHALL BE HDPE MATERIAL; IF SPECIFIED, COMPARABLE WITH STORAGE PIPES.
 - PROVIDE BACKFILL WITH A MINIMUM OF 4" BEDDING MATERIAL OF #8 AGGREGATE COMPACTED IN 8" LIFTS TO 95% MAXIMUM DRY DENSITY.
 - VERIFY EXISTING STORM INVERT ELEVATIONS PRIOR TO STARTING NEW STORM SEWER CONNECTION.
 - THE STORM SEWER SYSTEM SHALL BE CONSTRUCTED PER DESIGN SPECIFIED AND AS APPROVED BY THE CITY OF CARMEL ON THE FINAL APPROVED CONSTRUCTION PLANS. DEVIATIONS FROM THE APPROVED DESIGN SHALL ONLY BE PERMITTED DUE TO A SPECIAL CIRCUMSTANCES OR DIFFICULTY DURING CONSTRUCTION AND WILL REQUIRE PRIOR FIELD APPROVAL FROM A DESIGNATED REPRESENTATIVE OF THE CITY OF CARMEL IN ADDITION TO SUPPLEMENTAL APPROVAL BY THE DESIGN ENGINEER. AN EXAMPLE OF ANY SUCH DEVIATION SHALL BE INCLUDED AS A REQUIREMENT ON AS-BUILT/RECORD DRAWINGS SUBMITTED FOR RELEASE OF PERFORMANCE GUARANTEES. APPROVED DESIGN SLOPES IDENTIFIED AS GENERATING VELOCITIES OF 2.5 FPS OR LESS OR 10 FPS OR GREATER (AT FULL FLOW CAPACITY) SHALL REQUIRE AS-BUILT CERTIFICATION AT THE TIME OF CONSTRUCTION, PRIOR TO BACKFILLING THE PIPE. THE CONTRACTOR IS INSTRUCTED TO AS-BUILT EACH SECTION OF STORM PIPE AS IT IS BEING INSTALLED TO ENSURE COMPLIANCE WITH THE DESIGN PLANS AND AS APPROVED BY THE CITY OF CARMEL.

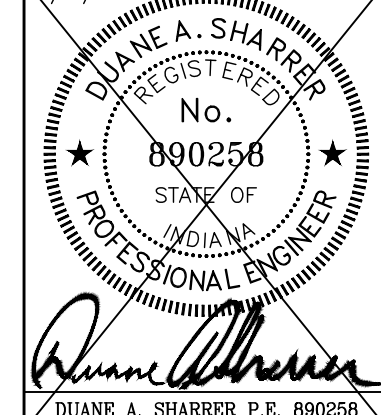
- ### LEGEND
- = BUILDING SETBACK LINE (B.S.L.)
 - - - - = EASEMENT
 - - - - = EXISTING STORM SEWER LINE
 - - - - = PROPOSED STORM SEWER LINE
 - = STORM MANHOLE
 - = STORM INLET
 - = SUBSURFACE DRAIN AND SUMP LINE
 - = EXISTING SUBSURFACE DRAIN
 - = SOLID WALL UNDERDRAIN
 - = SUBSURFACE DRAIN
 - = SWALE
 - = EXISTING SANITARY SEWER LINE
 - - - - = PROPOSED SANITARY SEWER LINE
 - = SANITARY SEWER MANHOLE
 - = SANITARY SEWER INLET
 - = TOP OF CASTING
 - = INVERT
 - = REINFORCED CONCRETE PIPE
 - = POLYVINYL CHLORIDE PIPE
 - = MANHOLE
 - = STRUCTURE
 - = DRAINAGE AND UTILITY EASEMENT
 - = UTILITY EASEMENT
 - = SANITARY SEWER EASEMENT
 - = MATCH EXISTING GRADE
 - = TYPICAL
 - = EXISTING
 - = PROPOSED
 - = RADIUS
 - = RIGHT-OF-WAY
 - = BACK TO BACK (CURB)
 - = CENTERLINE
 - = VARIABLE WIDTH



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REVISIONS AND ISSUES	DATE	BY	PROJECT NO.
REVISOR'S COMMENTS	05-13-2022	W210497	
DESIGNER'S COMMENTS	05-19-2022	W210497	
AS-BUILT	08-10-2023	W210497	
AS-BUILT	11-11-2023	W210497	
AS-BUILT	03-29-2023	W210497	



**THE RESERVE AT SPRINGMILL, SECTION 2,
 REPLAT OF LOTS 68, 69C, 70C, & 71**
 340 SANNER COURT, INDIANAPOLIS, IN 46290
STORM PLAN & PROFILE
 Part of Section 11, Township 17 North, Range 2 East, Clay Township, Hamilton County, Indiana

SHEET NO. **C600**
 PROJECT NO. **W210497**



LOCATION: \\wms-efr\work\2022\W210497\Engineering\asbuilt\A8_C600\A8_C600 Storm Plan.dwg
 DATE PLOTTED: March 28, 2023, 9:50am
 PLOTTED BY: cmmmm